

**VILLAGE OF SPARTA
PLANNING COMMISSION
Regular Meeting
October 6, 2025 @ 7:00 PM
75 N. Union St. (Sparta Civic Center)**

- 1) CALL TO ORDER
- 2) PLEDGE OF ALLEGIANCE
- 3) ROLL CALL
- 4) ADDITIONS OR CORRECTIONS TO THE BUSINESS & CONSENT AGENDA
Consent Agenda:
 - a. Approve Regular Planning Commission Meeting Minutes of August 4, 2025
- 5) APPROVAL OF CONSENT & BUSINESS AGENDA
- 6) PUBLIC COMMENT ON AGENDA ITEMS
- 7) COMMUNICATIONS
- 8) PUBLIC HEARING
 - a. None
- 9) NEW BUSINESS
 - a. Preliminary Plat Review- Allen Edwin Homes (Bedford Falls)
- 10) UNFINISHED BUSINESS
 - a. None.
- 11) PUBLIC COMMENT
- 12) VILLAGE MANAGER REPORT
- 13) COMMISSION COMMENT
- 14) ADJOURNMENT

**VILLAGE OF SPARTA
PLANNING COMMISSION
Regular Meeting
August 4, 2025 @ 7:00 PM
75 N. Union St. (Sparta Civic Center)**

Present: Chairperson Emilie Henry, Vice Chairperson Rose Frederick, Commissioners Robert Carlstrom, Bob Liscombe, Gary Moody, Christina Owens, and Robert Whalen.

Absent: None

Also present: Village Manager Jim Lower, Village Clerk Kristen Phelps,

1. CALL TO ORDER
 - a. The meeting was called to order at 7:00 pm by Chair Henry
2. PLEDGE OF ALLEGIANCE
 - a. The Pledge was recited.
3. ROLL CALL
 - a. Formal roll call was taken. Those in attendance/absent are noted as above
4. ADDITIONS OR CORRECTIONS TO THE BUSINESS & CONSENT AGENDA
5. Approve Regular Planning Commission Meeting Minutes of May 5, 2025
6. APPROVAL OF CONSENT & BUSINESS AGENDA
 - a. Consent Agenda: No additions or corrections.
 - i. Motion to approve business and consent agenda as presented by Moody, supported by Liscombe. **Motion passed unanimously.**
7. PUBLIC COMMENT ON AGENDA ITEMS
 - a. None
8. COMMUNICATIONS
 - a. None
9. PUBLIC HEARING
 - a. Bedford Falls Rezoning Requests – Ord. 25-02
 - i. Opened at 7:02 pm by Chairperson Henry
 1. Katie Frie 606 Bedford Falls Commented
 2. Marilyn Pasmore 210 Liberty Commented
 3. Jeff Wright 220 Liberty Commented
 4. Virginia Waltz-Markstrom 603 Bedford Falls Commented
 5. Riley Florida 30 W. Gardner Commented

6. Ken Hammerlind 1144 12 Mile commented
 7. Gabrielle Maggio 624 Bedford Falls Commented
 8. Will Cole 1444 12 Mile Rd. Commented
 9. Jen Anderson 602 Bedford Falls Commented
 10. Ricky Johnson 29 Centennial Commented
 11. Barb Johnson 9210 Alpine Ave Commented
- ii. Closed at 8:42 by Chairperson Henry

10. NEW BUSINESS

- a. Bedford Falls Rezoning Requests – Ord. 25-02
 - i. Motion by Moody, supported by Frederick to approve Zoning Request as presented. **Motion passes 6-1.**
- b. Site Plan Review -172 E Gardner St.
 - i. Motion by Frederick, supported by Liscombe to approve site plan as presented. **Motion passed 7-0.**

11. UNFINISHED BUSINESS

- a. None.

12. PUBLIC COMMENT

- a. None

13. VILLAGE MANAGER REPORT

- a. September Meeting Date
 - i. Meeting Changed to September 15, 2025 at 5 pm.

14. COMMISSION COMMENT

- a. Liscombe asked about Burger King and Taco Bell.

15. ADJOURNMENT

- a. Adjournment at 9:02 pm by Chairperson Henry.



#8a
Village of Sparta Planning
Commission
October 6, 2025

ACTION MEMO

Staff Communication

DATE: October 6, 2025
TO: Planning Commission Chair and Planning Commission Members
FROM: James A. Lower Village Manager
RE: Preliminary Plat Review- Allen Edwin Homes (Bedford Falls)

SUMMARY OF REQUEST:

Overview:

Allen Edwin Homes has been working with Village staff and the Village Engineer over the past several months on the proposed preliminary plat. They are now ready to seek preliminary approval.

The Planning Commission's role is to review the proposed plat and provide a recommendation to the Village Council regarding approval. Included in the packet are:

- The proposed plat
- A narrative from the applicant
- A review letter from the Village Engineer outlining items addressed during the review process

Variances:

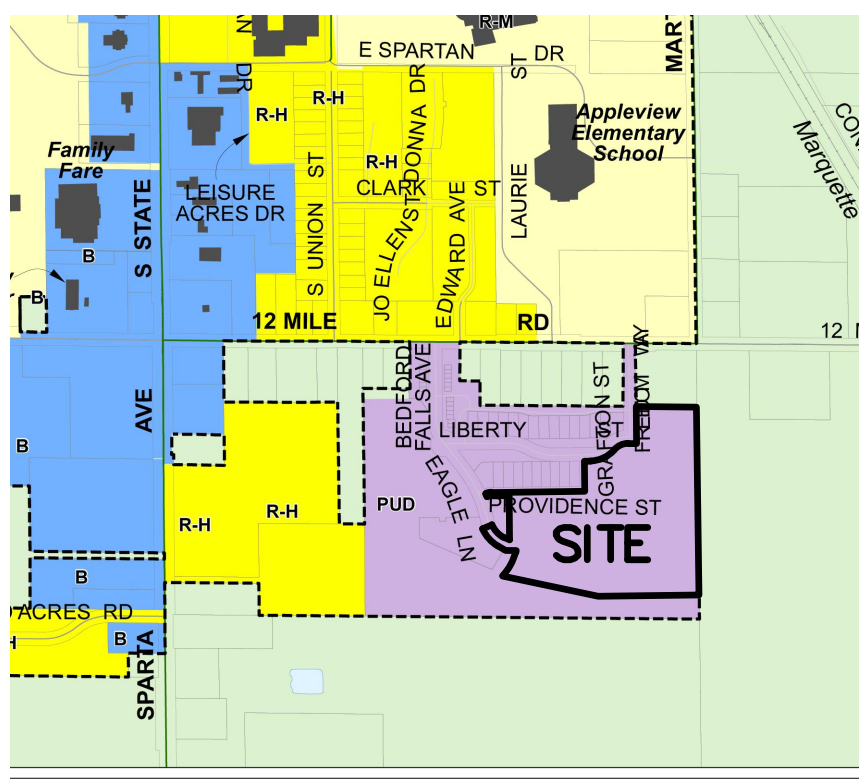
The applicant is seeking variances under Section 62-37 of the Village Code. Staff has reviewed these requests and finds the accommodations to be reasonable given the unique design requirements of the site.

Key Considerations:

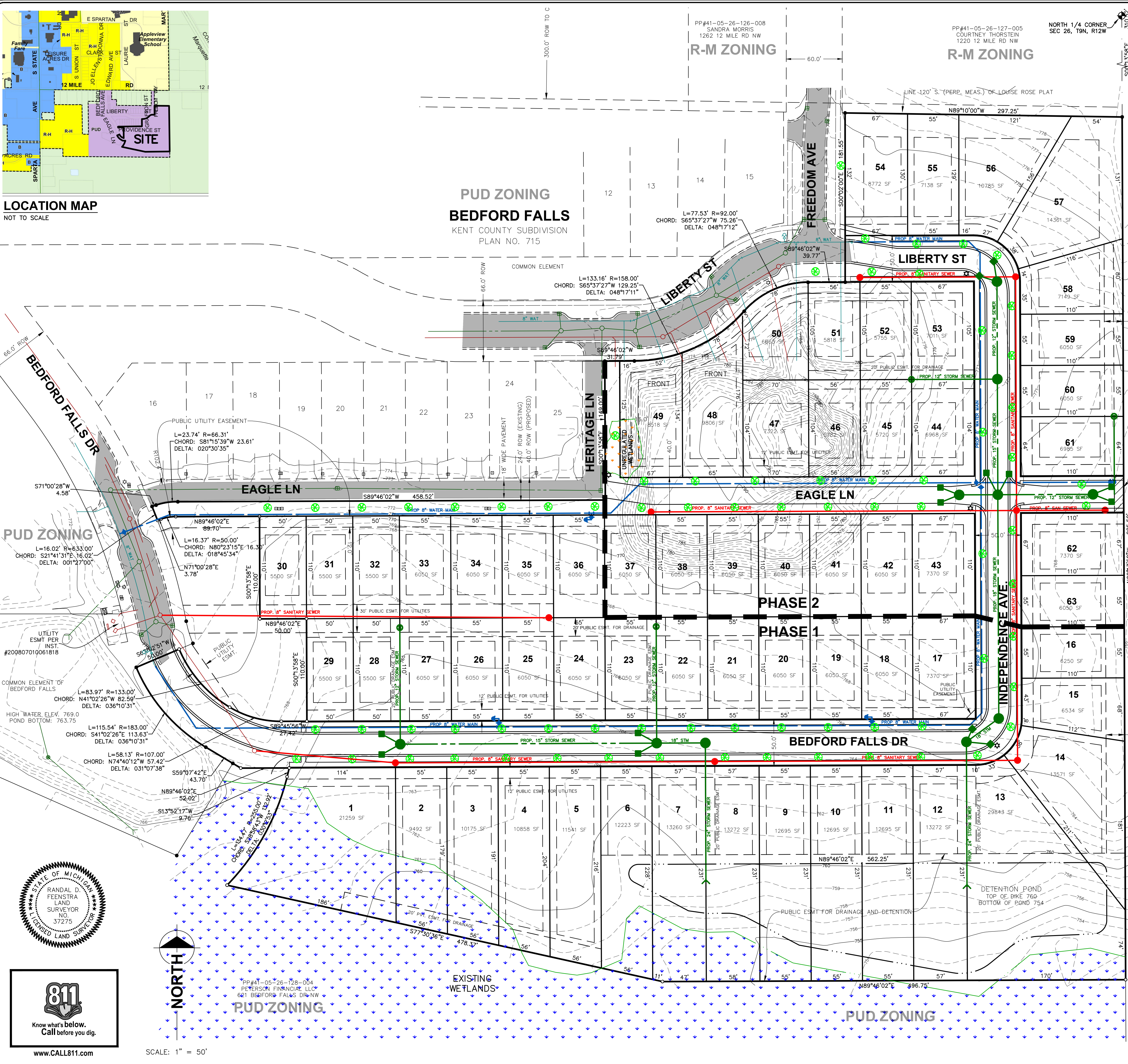
- The proposal brings the undeveloped portion of the site into compliance with the Village's updated zoning requirements.
- The layout integrates with and complements the existing Planned Unit Development (PUD).
- Engineering review has confirmed that identified issues have been adequately addressed.

STAFF RECOMMENDATION:

Staff believes the preliminary plat is well-prepared and consistent with Village standards. The variances requested are appropriate given the circumstances. Staff recommends a motion to recommend approval to the village council of the preliminary plat as presented.



LOCATION MAP
NOT TO SCALE



PROPERTY DESCRIPTION:

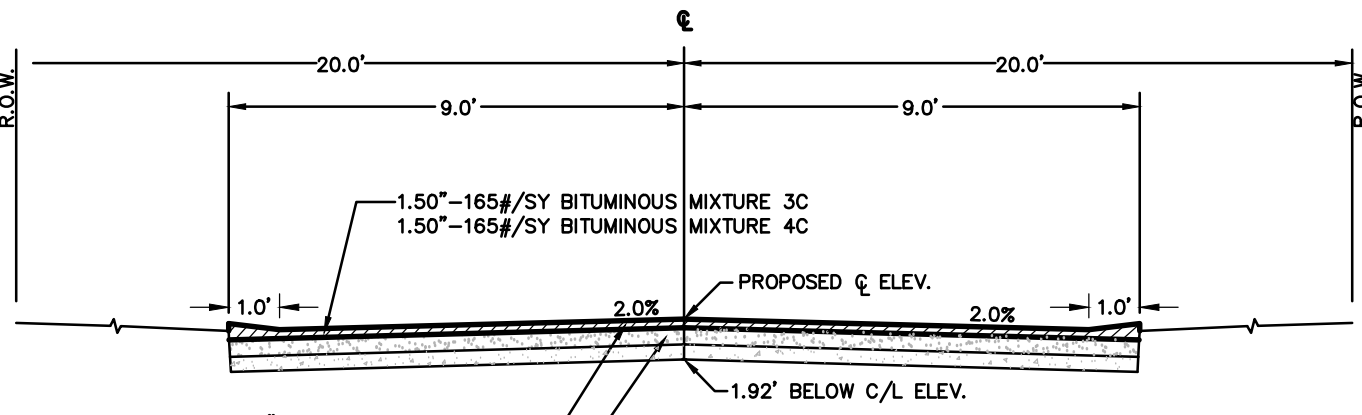
That part of the North 1/2 of the Northwest 1/4 of Section 26, T9N, R12W, Village of Sparta, Kent County, Michigan, described as: Commencing at the North 1/4 corner of said Section; thence S00°13'58"E 310.52 feet along the North-South 1/4 line of said Section 26 to the intersection of a line that is 120.00 feet (perpendicular measurement) South of and parallel with the South line of the Louise Rose Plat as recorded in Liber 57 of Plats, Page 26, Kent County Records to the Point of Beginning; thence N89°10'00"W 297.25 feet along said South line to the East line of Bedford Falls, Kent County Condominium Subdivision Plan No. 715, as recorded in Instrument No. 200502150019224; thence S00°02'00"E 181.55 feet; thence S89°46'02"W 39.77 feet; thence Southwesterly 77.53 feet along a 92.00 foot radius curve to the left, the chord of which bears S65°37'27"W 75.26 feet; thence Southwesterly 133.16 feet along a 158.00 foot radius curve to the right, the chord of which bears S85°37'27"W 129.25 feet; thence S89°46'02"W 31.79 feet; thence S00°13'58"E 149.00 feet; thence S89°46'02"W 458.52 feet; thence Southwesterly 23.74 feet along a 66.31 foot radius curve to the left, the chord of which bears S81°15'39"W 23.61 feet; thence S71°00'28"W 4.58 feet; thence Southeasterly 16.02 feet along a 633.00 foot radius curve to the right, the chord of which bears S21°41'31"E 16.02 feet (the previous 10 courses being along said East line of Bedford Falls); thence N71°00'28"E 3.78 feet; thence Easterly 16.37 feet along a 50.00 foot radius curve to the right, the chord of which bears N80°23'15"E 16.30 feet; thence N89°46'02"E 89.70 feet; thence S00°13'58"E 110.00 feet; thence N89°46'02"E 50.00 feet; thence S00°13'58"E 110.00 feet; thence S89°45'56"W 27.42 feet; thence Northwesterly 58.13 feet along a 107.00 foot radius curve to the right, the chord of which bears N74°40'16"W 57.42 feet; thence Northwesterly 83.97 feet along a 133.00 foot radius curve to the right, the chord of which bears N41°02'26"W 82.59 feet to the East line of Bedford Falls; thence S67°02'51"W 50.00 feet; thence Southeasterly 115.54 feet along a 183.00 foot radius curve to the left, the chord of which bears S41°02'26"E 113.63 feet; thence S59°07'42"E 43.70 feet (the previous 3 courses in part being along said East line of Bedford Falls); thence N89°46'02"E 52.02 feet; thence S13°52'17"W 9.76 feet; thence Southwesterly 134.47 feet along a 255.00 foot radius curve to the right, the chord of which bears S28°58'43"W 132.92 feet; thence S77°30'36"E 478.37 feet; thence N89°46'02"E 496.75 feet to said North-South 1/4 line; thence N00°13'58"W 925.50 feet along said North-South 1/4 line to the Point of Beginning. Contains 14.53 acres.

PROPOSED ZONING REQUIREMENTS:

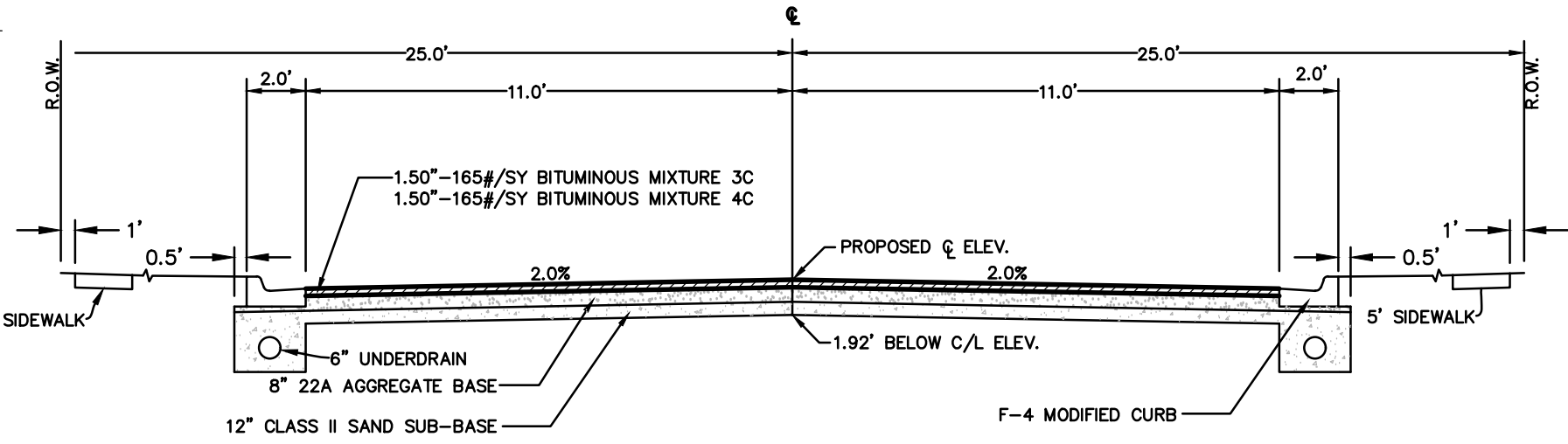
PUD, R-M ZONING	
MINIMUM LOT AREA:	5,500 SQFT
MINIMUM LOT WIDTH:	50 FEET
SETBACK REQUIREMENTS:	
FRONT YARD:	20 FEET
SIDE YARD:	7 FEET MINIMUM, 15 FEET TOTAL
REAR SETBACK:	25 FEET

GENERAL NOTES:

1. ALL LOTS ARE INTENDED FOR SINGLE FAMILY USE ONLY
2. ALL ROADS SHALL BE PUBLIC AND BE CONSTRUCTED TO THE VILLAGE OF SPARTA STANDARDS AND SPECIFICATIONS.
3. THIS PLAT WILL BE SERVICED BY PUBLIC UTILITIES = SANITARY SEWER, STORM SEWER, WATER, BURIED ELECTRICAL, CABLE TV, AND GAS.
4. A 12" PRIVATE EASEMENT FOR PUBLIC UTILITIES SHALL BE ACROSS THE FRONT OF ALL LOTS.
5. THE PRIVATE ROADS WITHIN BEDFORD FALLS WERE TAKEN OVER BY THE VILLAGE OF SPARTA.
6. RELIEF FROM THE 1:4 LOT WIDTH TO DEPTH RATIO REQUIREMENT IS REQUESTED FOR UNITS 55-61 TO PROVIDE STORMWATER DETENTION EASEMENT IN LIEU OF COMMON SPACE.
7. ALL LOTS SHALL HAVE ONE STREET TREE. CORNER LOTS SHALL HAVE TWO STREET TREES.
8. WETLAND DELINEATION BY LAKESHORE ENVIRONMENTAL IN SEPT. 2025.



ALLEY CROSS SECTION
NOT TO SCALE



ROAD CROSS SECTION
NOT TO SCALE

LEGEND

TOWN	SECTION CORNER
RANGE	SET CAPPED IRON
NORTH	FOUND IRON OR NAIL
SOUTH	STORM SEWER MANHOLE
EAST	SANITARY SEWER MANHOLE
WEST	CATCH BASIN
SECTION	HYDRANT
POINT OF BEGINNING	VALVE
PROPOSED BLACKTOP	UTILITY POLE
PROPOSED CONCRETE	GUY WIRE
EXISTING BLACKTOP	LIGHT POLE
EXISTING CONCRETE	WALL MOUNTED LIGHT
BUILDING	PEDESTAL
	TRANSFORMER
	SIGN

PRELIMINARY PLAT
BEDFORD FALLS SOUTH

FOR: Green Development Ventures, LLC
2186 E Centre Ave
Portage, MI 49002

PART OF THE NW 1/4, SECTION 26, T9N, R12W,
VILLAGE OF SPARTA, KENT COUNTY, MICHIGAN

Feenstra
& Associates, Inc.
CIVIL ENGINEERS & SURVEYORS
3145 Prairie St SW
Grandville, MI 49418
Phone: 616.457.7050
www.feenstra.com

P1

DATE: 9/29/25
PROJ: 1382



www.CALL811.com

SCALE: 1" = 50'

Green Development Ventures, LLC
2186 East Centre Avenue
Portage, MI 49002

Jim Lower, Village Manager
Village of Sparta
156 E. Division
Sparta, Michigan 49345

September 10, 2025

Re: Bedford Falls South – Revised Preliminary Plat Application, 621 Bedford Falls Drive NW (East 14.53 Acres of Parcel #41-05-26-128-004)

Dear Jim,

Pursuant to our previous conversations and the comments provided in the Spalding DeDecker review letter dated July 30, 2025, attached please find the revised Preliminary Plat application package for the Bedford Falls South single family residential subdivision. Attached please find the following documents:

- Project Summary Narrative Dated September 10, 2025
- Revised Preliminary Plat Drawing (9 copies = 24" x 36")
- Sample Portfolio of Homes – color renderings, elevations, floor plans (9 copies)

We look forward to further discussions of this exciting residential project with the Village of Sparta and request that the Preliminary Plat be scheduled for the October 6, 2025 Planning Commission meeting.

If you have any questions or require additional information, please contact me at your earliest convenience.

Sincerely,



Michael West, AICP
Land Planning Manager
Green Development Ventures, LLC
2186 East Centre Avenue
Portage, Michigan 49002
(269) 365-8548
mwest@allenedwin.com

Bedford Falls South Single Family Residential Subdivision

621 Bedford Falls Drive NW (eastern 14.53 acres)

Project Summary Narrative

September 10, 2025

Single Family Residential Platted Subdivision Overview

The Bedford Falls South single family residential subdivision is proposed on the eastern 14.53 acres of 621 Bedford Falls Drive NW (Parcel #41-05-26-128-004). The project is proposed as a traditional platted subdivision and has incorporated the applicable submission and design requirements outlined in Chapter 62, Subdivisions and Other Division of Land, of the Village of Sparta Code of Ordinances. This new single family residential neighborhood will provide much needed housing to the Village of Sparta, while enhancing the local tax base and economy.

Lot Sizes/Setbacks/Variance Requests

The Bedford Falls South subdivision proposes a total of 63 single family lots on this 14.53 acre property with an overall development density of 4.3 units/acre. Construction of the subdivision is proposed in two development phases with Phase 1 (Lots 1-36) proposed for the Spring 2026. Single family home offerings within the Bedford Falls South subdivision will include a mixture of 2-story, ranch and raised ranch homes ranging between 1,600-2,300 square feet with 3-5 bedrooms, 2-3 bathrooms and attached 2-car garages. Home values are anticipated to range between the low-high \$300s. A sample portfolio of homes planned for the Bedford Falls South subdivision including color renderings, elevations and floor plans is attached with this application submittal.

All lots within the Bedford Falls South subdivision will adhere to the following R-M Medium Density Residential minimum/maximum standards:

Minimum Lot Size/Width: 5,500 square feet/50 feet wide

Minimum Setbacks: 20 feet (front)

25 feet (rear)

7 feet, 15 feet total (side)

Maximum Building Height: 35 feet or 2 ½ stories, whichever is less

Section 62-128(1) Lots, establishes a minimum lot depth standard of 125-feet. As shown on the preliminary plat drawing, the majority of the internal lots and several of the outer perimeter lots along the east side of the subdivision are proposed between 104-110 feet in depth. Pursuant to Section 62-37, a variance from this standard is requested. The requested variance is necessary due to the previously approved street layout within the adjacent Bedford Falls PUD, and the need to

extend these streets to serve the Bedford Falls South subdivision, which has created a unique circumstance where strict application of this standard would be detrimental to the project. It is important to note that all lots within the Bedford Falls South subdivision will meet the minimum area (5,500 square feet), width (50 feet) and building setback standards for the R-M district. Additionally, all lots will be provided with sufficient building “envelopes” necessary to support a wide variety of home product offerings. Finally, granting the variance will not be detrimental to the public welfare or injurious to other properties in the surrounding area.

Section 82-114 Lot Width/Depth Ratio, establishes a maximum lot width/depth ratio standard of 1:4. As shown on the preliminary plat drawing, Lots 6-13 along the southern portion of the site will have a lot depth that is slightly more than 4x the lot width. Pursuant to Section 62-37, a variance from this standard is requested. The requested variance is necessary due to the need to incorporate a storm water detention basin into the subdivision design within the natural low area of the property (site generally slopes from north to south). While Lots 6-13 are considerably deeper than the other lots in the subdivision, their respective building “envelopes” are significantly impacted by the storm water detention basin. Providing greater depth for these eight lots is necessary to ensure an appropriate building “envelope” and to meet minimum rear yard setback standards. Granting the variance will not be detrimental to the public welfare or injurious to other properties in the surrounding area

Access/Street Design/Variance Requests

The Bedford Falls South residential neighborhood will be accessed from 12 Mile Road through the existing street network located within the Bedford Falls PUD including Bedford Falls Drive, Freedom Avenue, Liberty Street and Eagle Lane. An interconnected network of new public streets will be constructed to serve the Bedford Falls South subdivision. All new public streets will be constructed to Village of Sparta standards specifications with the following exceptions for which variances are requested pursuant to Section 62-37 of the Sparta Code of Ordinances.

Section 62-126(2) - Streets establishes a 66-foot wide public street right-of-way standard for local and secondary streets: A 50-foot wide public street right-of-way is proposed for Bedford Falls Drive, Independence Avenue and Liberty Street, while a 40-foot wide public street right-of-way is proposed for Eagle Lane. Section 62-154(1) - Design Details establishes a 27-foot pavement width with 24-inch concrete valley curbs: A 22-foot pavement width with 24-inch concrete valley curbs is proposed for Bedford Falls Drive, Independence Avenue and Liberty Street, while a 18-foot pavement width is proposed for Eagle Lane.

These modifications are requested pursuant to Section 62-37 - Variances based on the size and configuration of the property, the proposed subdivision layout and desire to interconnect with the existing streets, and the existing street/right-of-way width design of Eagle Lane. In support of the variance requests, it is important to note that other communities across the state have public/private street standards ranging between 18-30 feet pavement width, and 40-66 feet right-of-way

width. The proposed pavement width and right-of-way standards still allows sufficient area for two-way traffic movements, sidewalk construction and public utilities. Importantly, granting the variance will not be detrimental to the public welfare or injurious to other properties in the surrounding area.

Sidewalks/Street Trees

Five (5) foot wide concrete sidewalks will be installed throughout the subdivision and will connect to existing sidewalk located within the Bedford Falls PUD, where practical. Street trees will also be installed through the subdivision at a ratio of one tree/per lot and two trees/per corner lot.

Utilities/Storm Water Management

All homes within the Bedford Falls South subdivision will be connected to sanitary sewer and public water designed and constructed with Village of Sparta standards and specifications. Underground franchise utilities will also be installed within the subdivision. Storm water from the development will be collected and conveyed to a storm water detention basin located along the southern portion of the site, along the south side of Lots 6-13, and will be designed, constructed and maintained to Village of Sparta requirements.

September 22, 2025

The Planning Commission
Village of Sparta
156 E. Division
Village of Sparta, MI 49345

Re: Bedford Falls South – Preliminary Plat Review
SDA Review No. SP25-001

Dear Planning Commission:

The preliminary plat review exhibits submitted for the above referenced project were received by our office on June 25th, 2025, with the most recent revisions received on September 11, 2025. The plans were reviewed in accordance with Village of Sparta Ordinances, and the following comments are our observations.

A. General

The site is located on the eastern 14.53 acres of 621 Bedford Falls Drive NW (Parcel 41-05-26-128-004) and is currently vacant land that is zoned for Planned Unit Development (PUD). The site is proposed to be rezoned to Medium Density Residential (R-M) with 64 individual single-family lots in a platted subdivision. The site would have direct connections to Bedford Falls Drive, Eagle Lane, and Liberty Street. All lots within the plat would have a minimum lot size of 5,500 square feet and a minimum width of 50 feet with all appropriate setbacks.

1. The Right-of-Way (ROW) being proposed differs from existing road ROW and Village standards
 - a. The existing Bedford Falls Drive and Liberty Street ROWs are both 66' wide and the proposed connection, which loops the two roadways, is 50' wide. While this varies from the 66' minimum required ROW as laid out in the Sparta Code of Ordinances, Section 62-126 (2), it is recommended that the Village consider accepting the revised ROW widths due to the constraints of the property along with additional public utility easements being provided on each side of the ROW allowing for sufficient room for all necessary utilities.
 - b. On the existing portion of Eagle Lane, the ROW is 24' wide. The proposed plat includes a 16' wide addition to the ROW along the existing portion of Eagle Lane to expand that right-of-way space to 40'. The proposed connection would have a 40' ROW. While this varies from the 66' minimum required ROW as laid out in the Sparta Code of Ordinances, Section 62-126 (2), it is recommended that the Village consider accepting the revised ROW width, as it would maintain a consistent road width and layout as the existing Eagle Lane along with additional public utility easements being provided on each side of the ROW allowing for sufficient room for all necessary public utilities.
2. The road cross-section width displayed on the preliminary plat is 26' and does not meet the minimum 31' width as laid out in the Sparta Code of Ordinances, Section 62-15 (1). While this road width varies from the Ordinances, it is recommended that the Village consider accepting the reduced width due to the roads being purely residential and only being used

for circulation within the proposed subdivision. However, it is also recommended that future consideration be given to the restriction of on-street parking as this may interfere with two-way traffic flow.

3. The alley cross-section width displayed on the preliminary plat for Eagle Lane is 18' and does not meet the minimum 31' width as laid out in the Sparta Code of Ordinances, Section 62-15 (1). While this road width varies from the Sparta Code of Ordinances, it is recommended that the Village accept the reduced width due to the road width remaining consistent with the existing Eagle Lane along with the other roadways providing sufficient circulation within the subdivision. Additionally, while sidewalk is not present on Eagle Lane west of Independence Avenue, it is provided east of Independence Avenue which will maintain pedestrian access in the event of additional future development.
4. All roadways should be designed to drain away from the centerline of the road in accordance with a standard road cross-section as well as maintain a method of stormwater conveyance along the roadway. The alley cross-section provided shows a crowned roadway with no curb or ditching to carry the runoff to the storm sewer system. The alley cross-section is assumed to be applied to Eagle Lane which should be designated as an alley on the plan or cross section detail.
5. Lots 45-50, as shown have width to depth ratio that is not compliant with Sec. 82-114. Although these lots vary from the Sparta Code of Ordinances, it is recommended that the Village consider accepting the lot layout due to the necessity of the stormwater detention provided.
 - a. Except for the width to depth ratio noted above, the lots appear to comply with the requirements of section 82-174.
6. Note 4 of the General Notes has a typo indicating 12" private easements for public utilities. The easement width should be 12' and all easements for public utilities should be public easements.

B. Water Main

The plans show an existing 8" diameter water main located on the west side of Bedford Falls Drive and the north side of Liberty Street. The proposed 8" diameter water main would loop from the end of Bedford Falls Drive around to Liberty Street with another looped connection through Eagle back to Bedford Falls Drive. All proposed water main would remain within the proposed ROW.

Based on this water main layout, we have the following comments:

1. All proposed water main is to be separated from sanitary and storm sewer by 10 feet (edge to edge).
2. An EGLE permit for construction will be required for the proposed public watermain.
3. The capacity of the system appears to be sufficient per the July 2025 Water System Reliability Study, however drinking water model updates are needed to provide specific site capacities as required by EGLE Part 399 permits.

C. Sanitary Sewer

The plans show an existing sanitary sewer located in Bedford Falls Drive and Liberty Street, but the plan does not list the size of the existing main. The proposed sanitary sewer main ranges between 8" and 12" with two separate connections to the existing main within Bedford Falls Drive. The proposed sanitary main would be primarily located within the proposed ROW, with one manhole located within the proposed public utility easement at the southeast corner of Bedford

Falls Drive and Independence Avenue and 388 feet 8" sanitary sewer main and accompanying manhole in a 30' wide public easement for utilities between Eagle Lane and Bedford Falls Drive.

Based on this sanitary sewer layout, we have the following comments:

1. The existing sanitary sewer and pump station capacity will need to be verified to confirm capacity for this development and the extended contributing areas during the permitting process.
2. An EGLE permit for construction will be required for the proposed public sanitary sewer.
3. Gravity sanitary sewer needs to be designed and constructed in a manner that allows future developments to the east and west to be gravity sewers wherever possible.

D. Storm Drainage/Grading

Stormwater runoff is to be captured via catch basins in the roadway as well as in yard basins at various locations throughout the plat. There are several 20' wide easements throughout the plat that will be utilized for drainage purposes. All runoff is proposed to be conveyed to the proposed detention pond located at the southeast corner of the plat.

1. There are several locations on the plat which call out private easements for drainage. All easements with public utilities should be designated as public easements.
2. While the 20' width of the easements varies from Sec. 62-153 of the Sparta Code of Ordinances which states a minimum 30' width for underground utilities, it is recommended that the Village consider accepting the reduced easement width as these are believed to be sufficient widths for the proposed drainage infrastructure.
3. There is a proposed catch basin shown in the center of Eagle Lane that was carried over from a previous submittal that included an inverted crown section for Eagle Lane. It is recommended that this be revised to reflect the current proposed cross-section.
4. Offsite surface runoff shall not be trapped along the development perimeter. If the existing runoff from adjacent properties passes onto the proposed site, the proposed storm sewer system must be sized to accommodate it.
5. On-site drainage must be captured within the proposed development via the storm sewer network and will not be allowed to drain to adjacent properties.
6. All stormwater management facilities shall be designed in conformance with the Village of Sparta Stormwater Standards Manual and all design calculations shall be provided for review during the future construction plan review stage.
7. Slope grades are to be provided on the grading plan.
8. Easements for the detention pond will be in accordance with Village standards

Permits and Agreements Required

Based on those improvements depicted on the plans, the following permits and agreements will need to be provided for review and approval at time of engineering plan review:

Village of Sparta:

Note - A current title policy for ownership verification shall be provided with all executed easement submittals. Easements must be on the Village of Sparta document and include an exhibit.

- All necessary easements including stormwater water main, and sanitary sewer.

- Right of Way Permit
- NPDES MS4 Permit
- Plat process submittals

Kent County:

- Soil Erosion and Sedimentation permit from Kent County Road Commission

Michigan Department of Environment, Great Lakes, and Energy (EGLE):

- NPDES Notice of Coverage Documentation.
- EGLE Permit for Wetland disturbance
- EGLE Permit for all sanitary sewer installation.
- EGLE Permit for all water main installation.

The following must be submitted with the Site Plan:

A letter from either the applicant or the applicant's engineer must be submitted with the Revised Preliminary Rezoning and Plat, highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.

Please be aware that additional comments may arise with the submittal of the requested revisions and/or additional information.

Recommendation

If the above comments are addressed to the satisfaction of the Planning Commission, we recommend approval of the preliminary plat.

The comments are not to be construed as approvals and are not necessarily conclusive. The final engineering plans and future plat submittals for this development are to be prepared in accordance with the Village of Sparta local ordinances and applicable plat requirements.

If you have any questions regarding this letter, please contact Bruce Carlstrom (616) 469-6508 with any questions.

Sincerely,

SPALDING DEDECKER

Bruce Carlstrom, PE
Senior Project Engineer

Christopher Harrington, PE
Project Manager

cc: James Lower, Village Manager, Village of Sparta



Bedford Falls South Single Family Residential Subdivision Sample Portfolio of Homes

Single Family Residential Subdivision



integrity 1610

1,607 SF

3-5 bedrooms

2-3 bathrooms

2-3 car attached garage



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Elevation A1

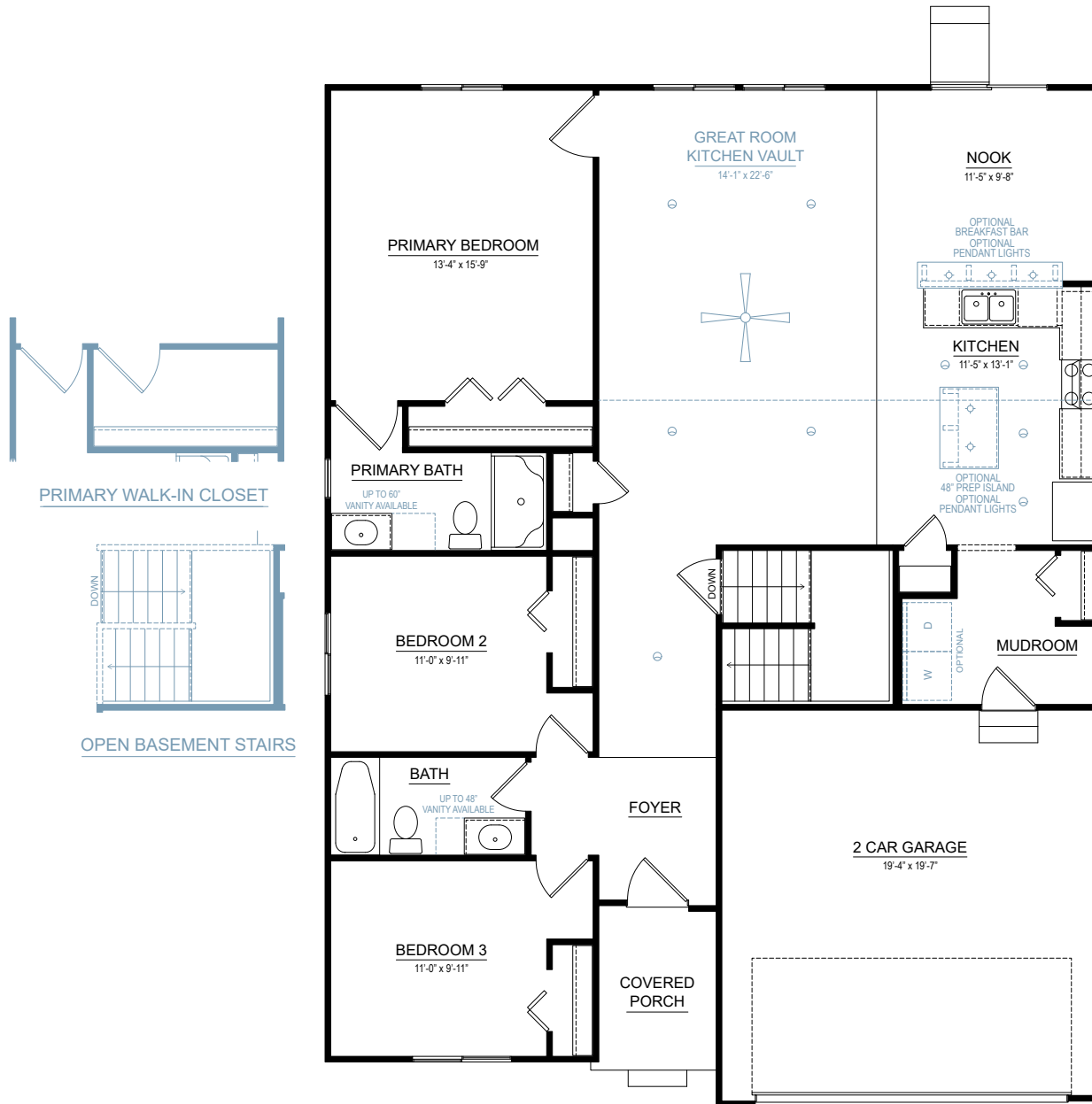


Elevation A2



Elevation A3

Elevation A



FIRST FLOOR

integrity 1750

1,736 SF

3-4 bedrooms

2-2.5 bathrooms

2 car attached garage



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Elevation A1



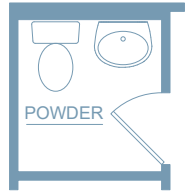
Elevation A2



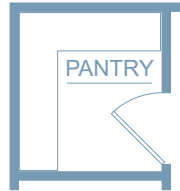
Elevation A3

Elevation A

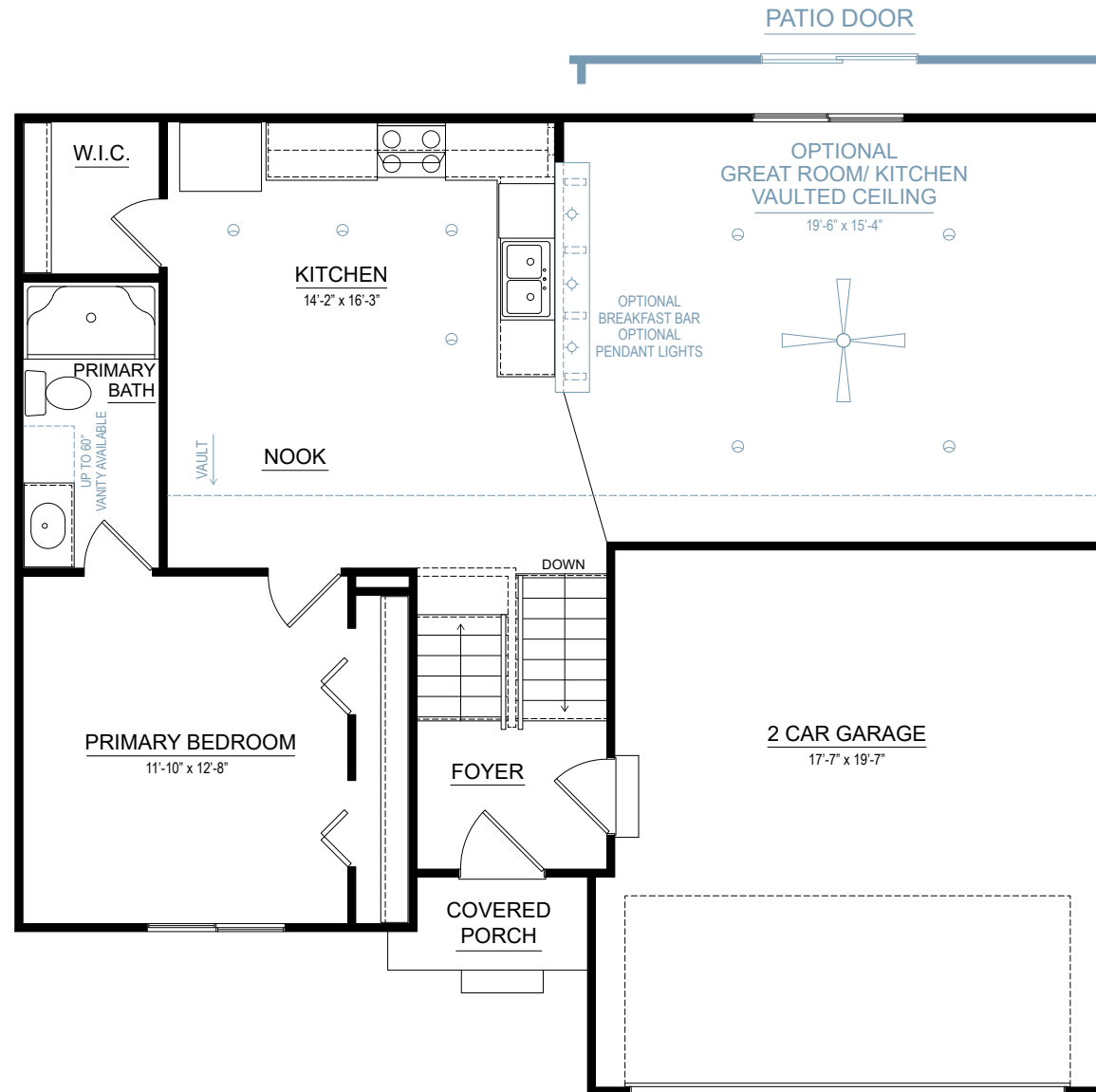
SMART SPACE
POWDER ROOM



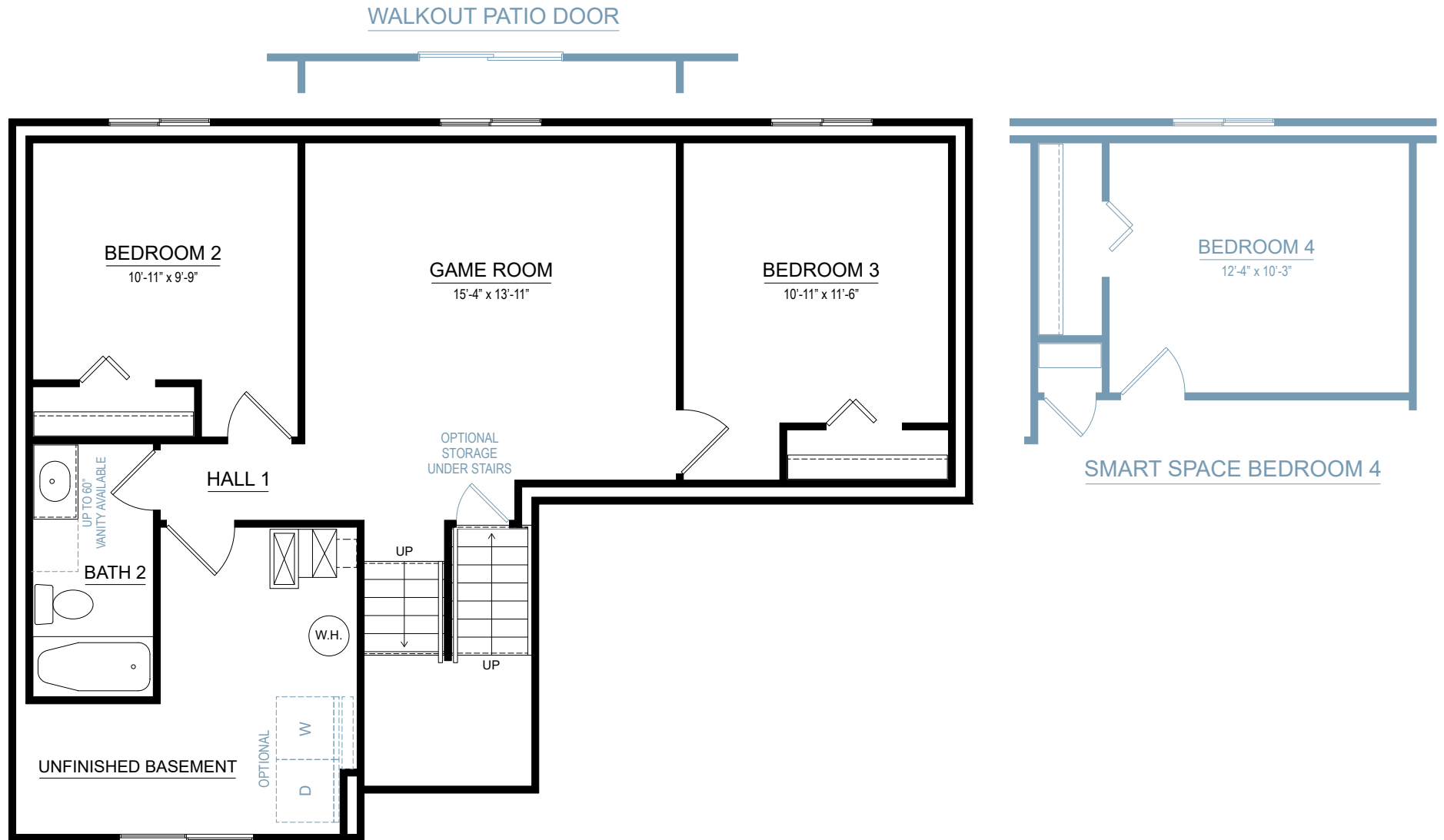
SMART SPACE
PANTRY



PRIMARY TUB/
SHOWER



FIRST FLOOR



LOWER LEVEL

integrity 1810

1,822 SF

4 bedrooms

2.5-3.5 bathrooms

2-3 car attached garage



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Elevation A1

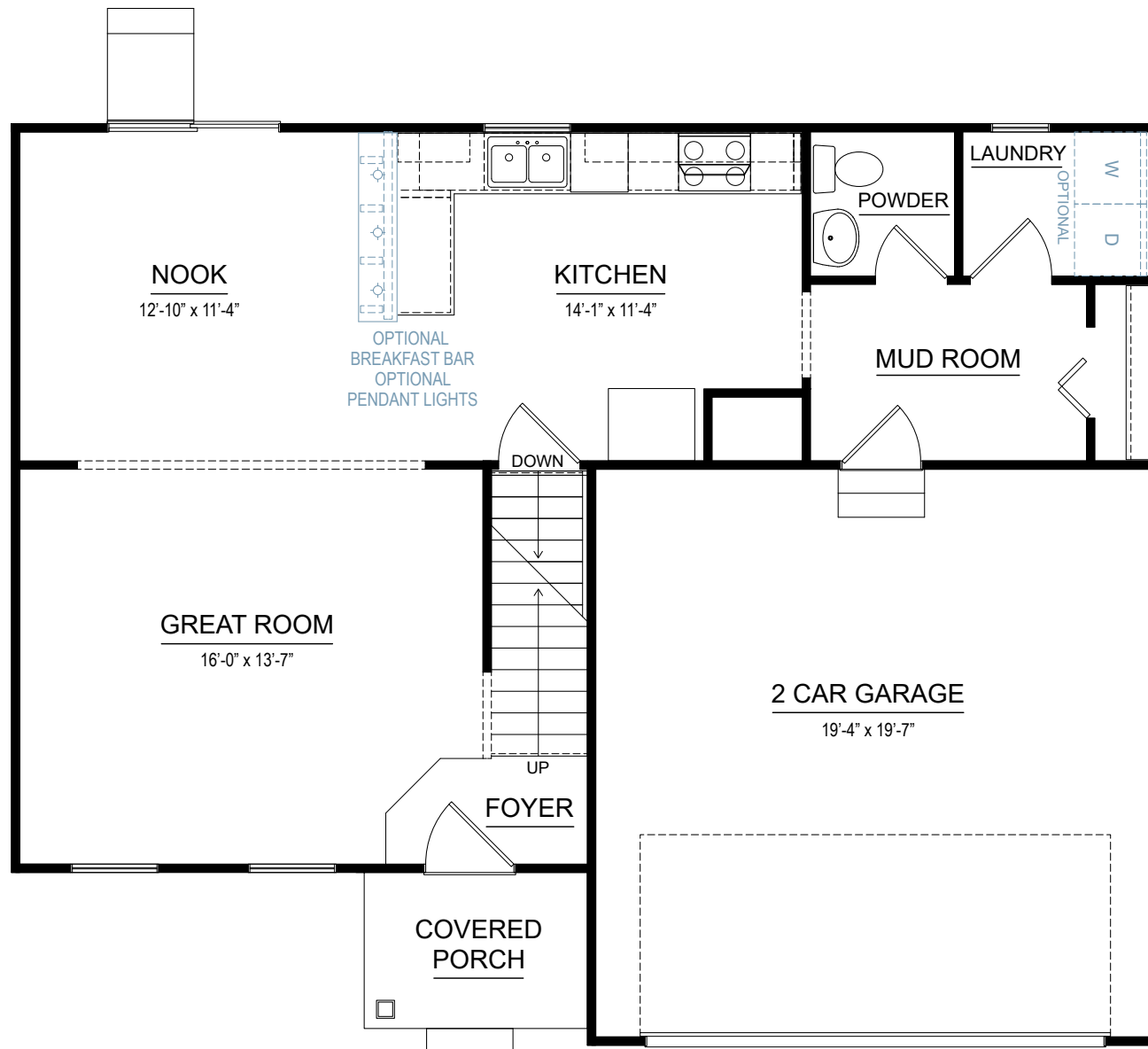


Elevation A2

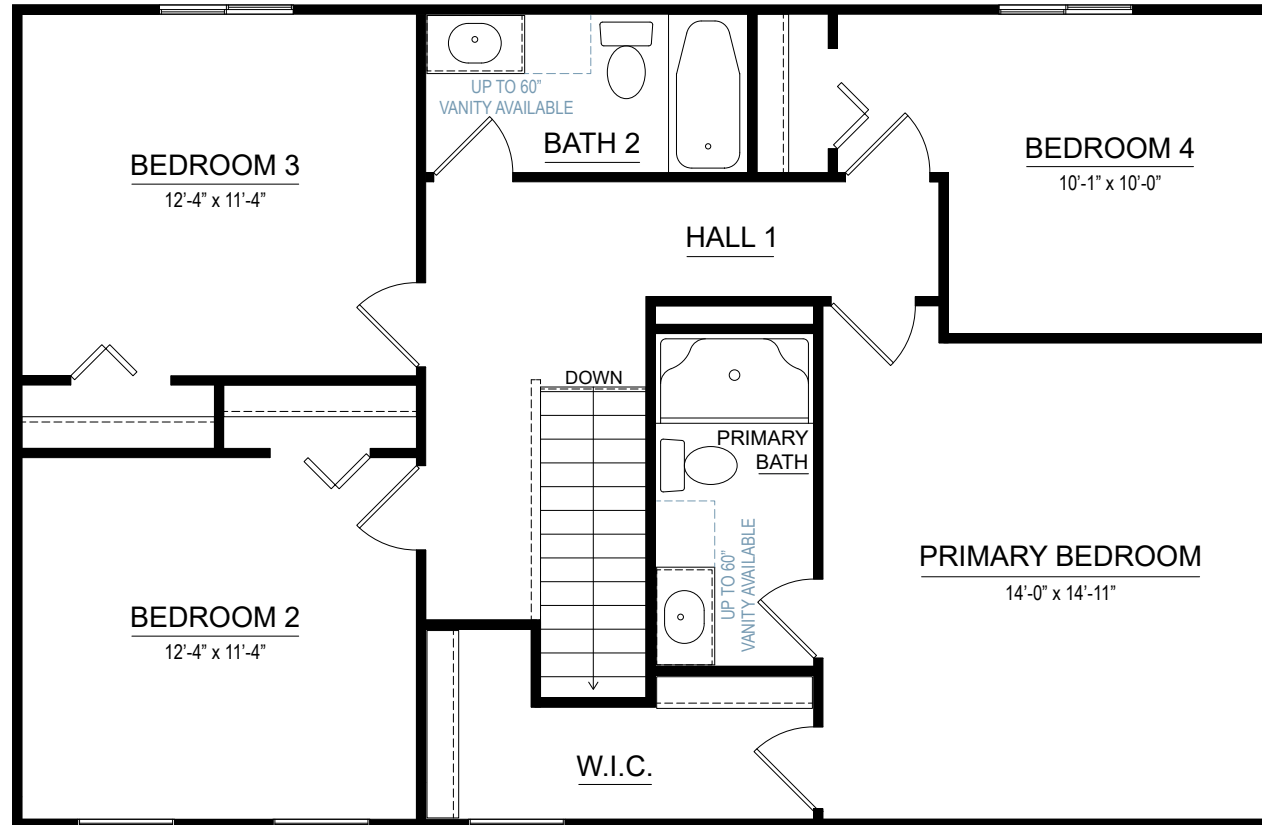


Elevation A3

Elevation A



FIRST FLOOR



SECOND FLOOR

integrity 1830

1,830 SF

4-5 bedrooms

2.5-3.5 bathrooms

2-3 car attached garage



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Elevation A1

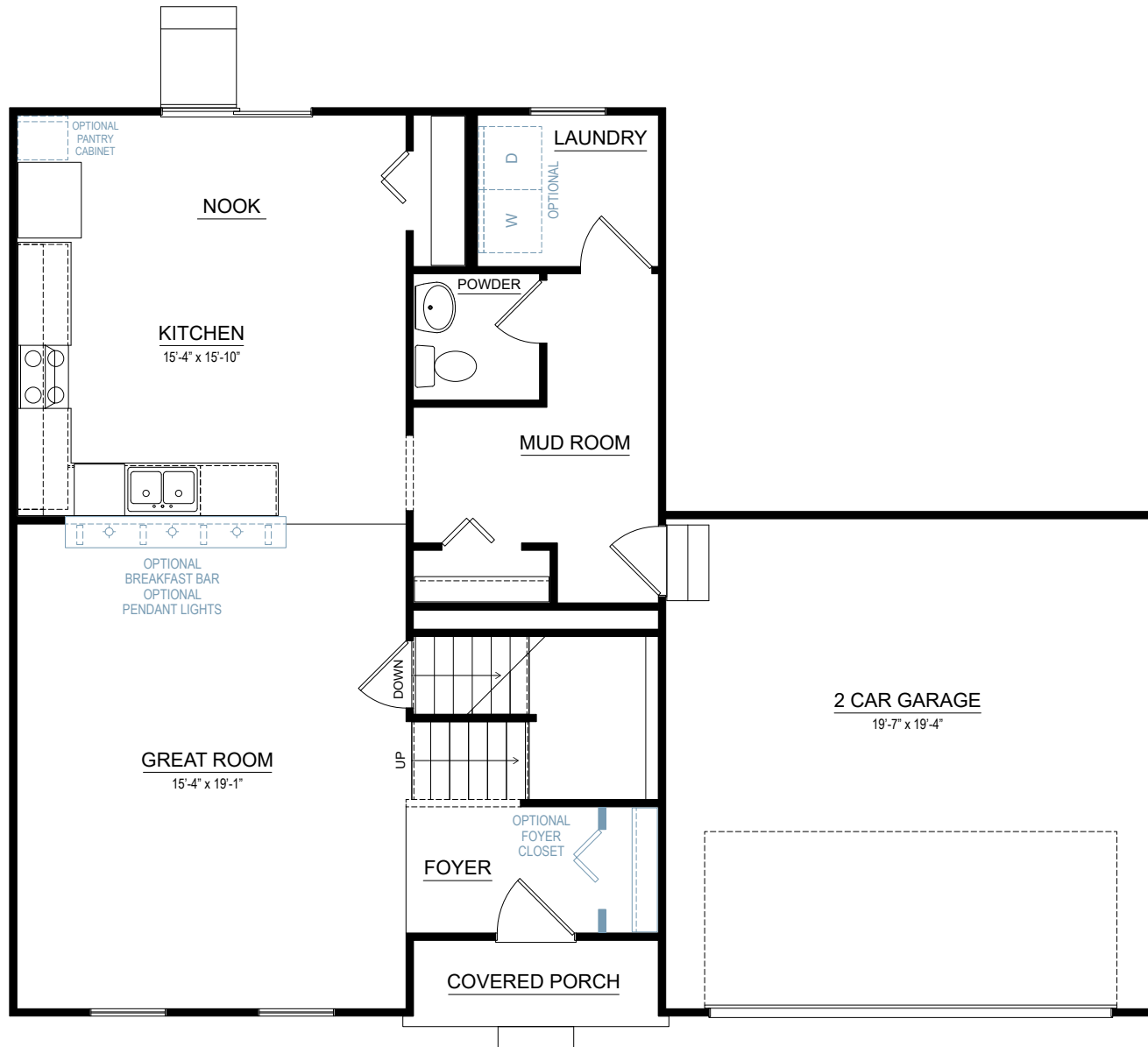


Elevation A2



Elevation A3

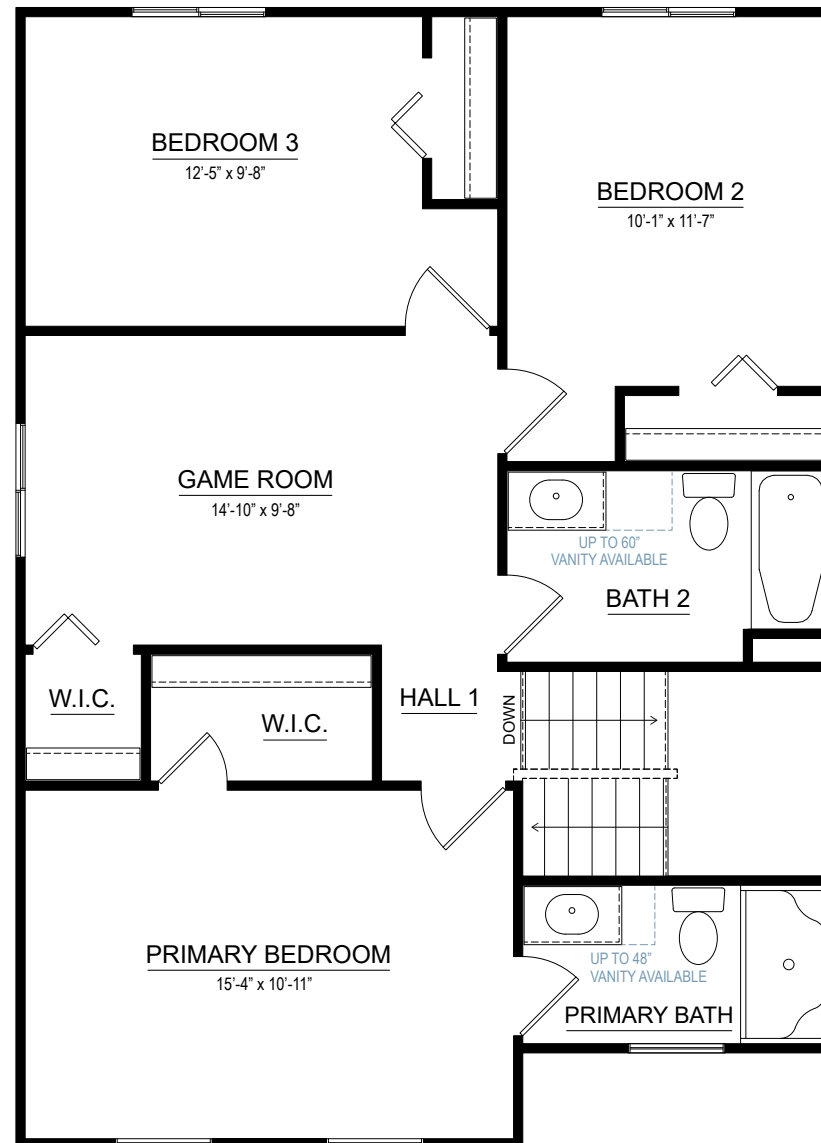
Elevation A



FIRST FLOOR



SMART SPACE BEDROOM 4



SECOND FLOOR

integrity 2060

2,060 SF

3-4 bedrooms

2-2.5 bathrooms

2 car attached garage



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Elevation A1

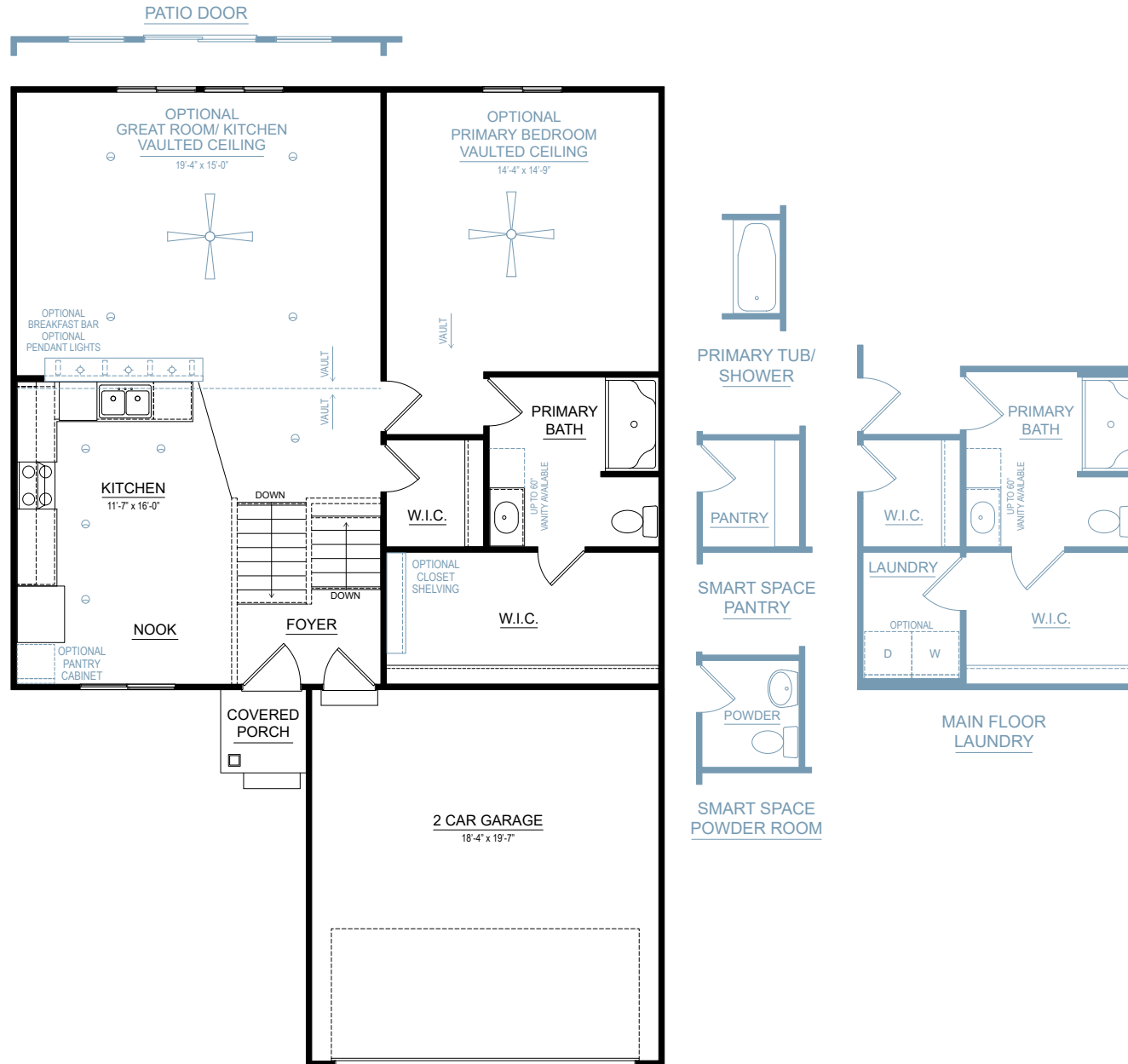


Elevation A2

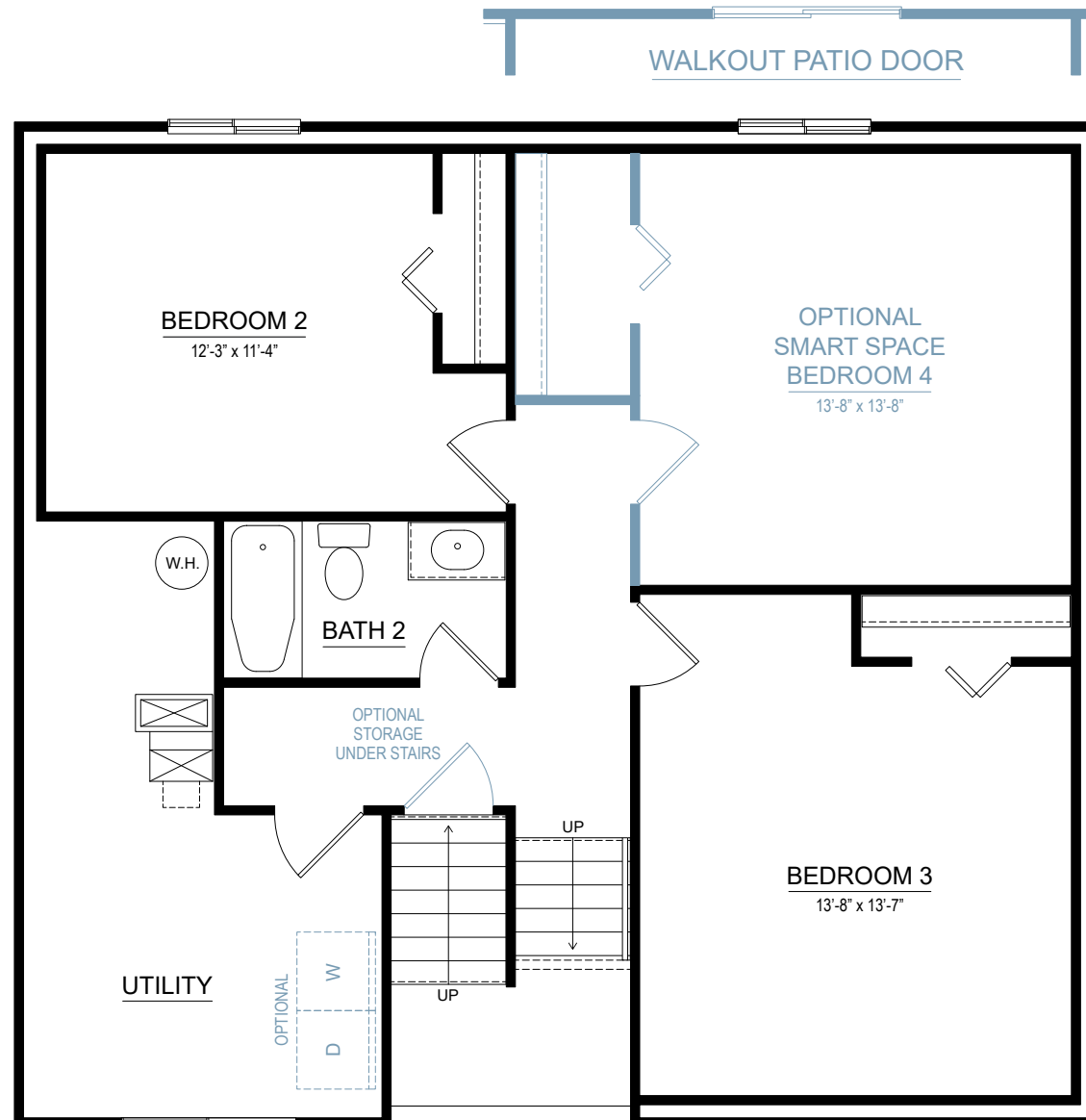


Elevation A3

Elevation A



FIRST FLOOR



LOWER LEVEL

integrity 2280

2,278 SF

3-6 bedrooms

2.5-4 bathrooms

2-3 car attached garage



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Elevation A1

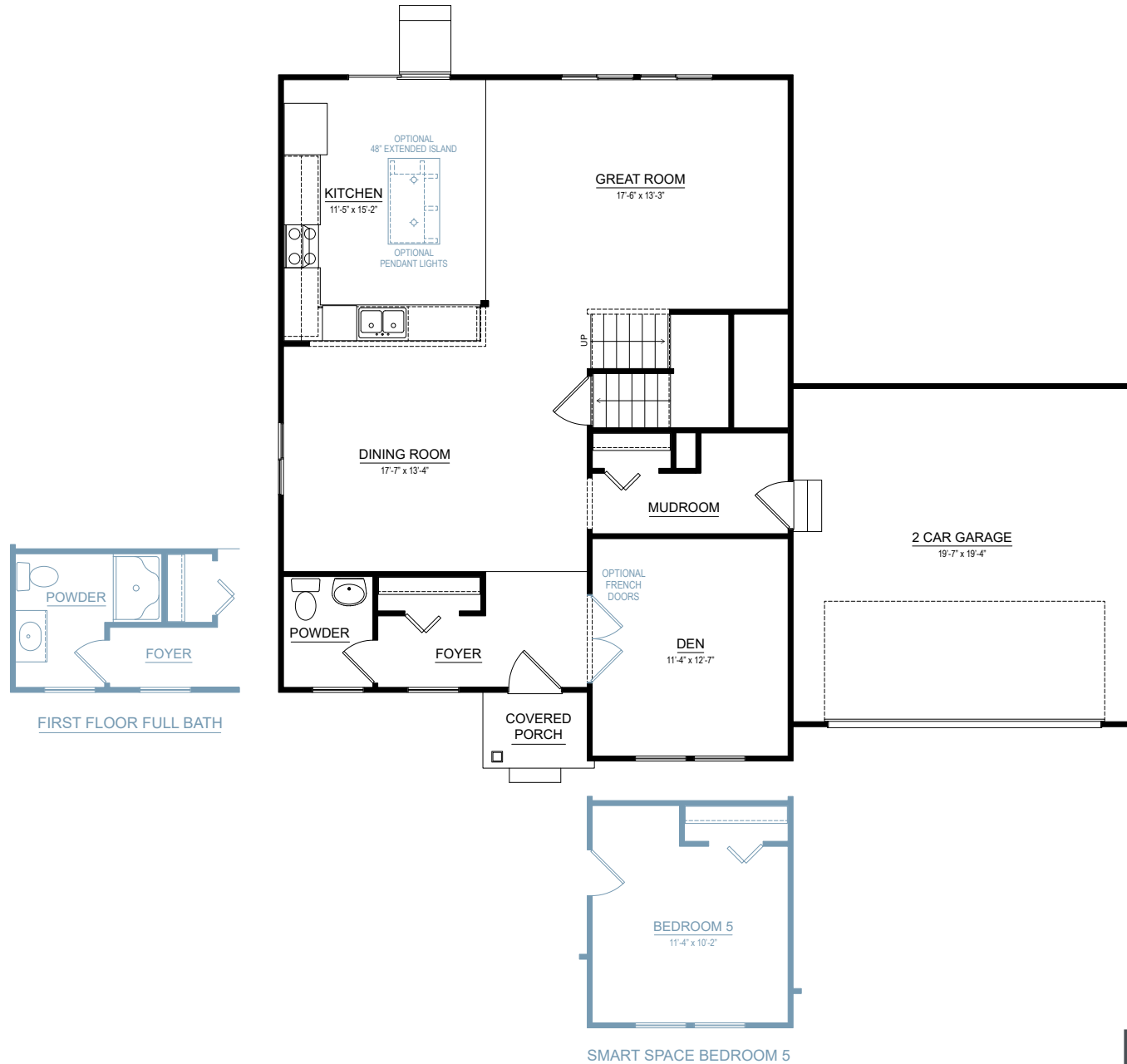


Elevation A2

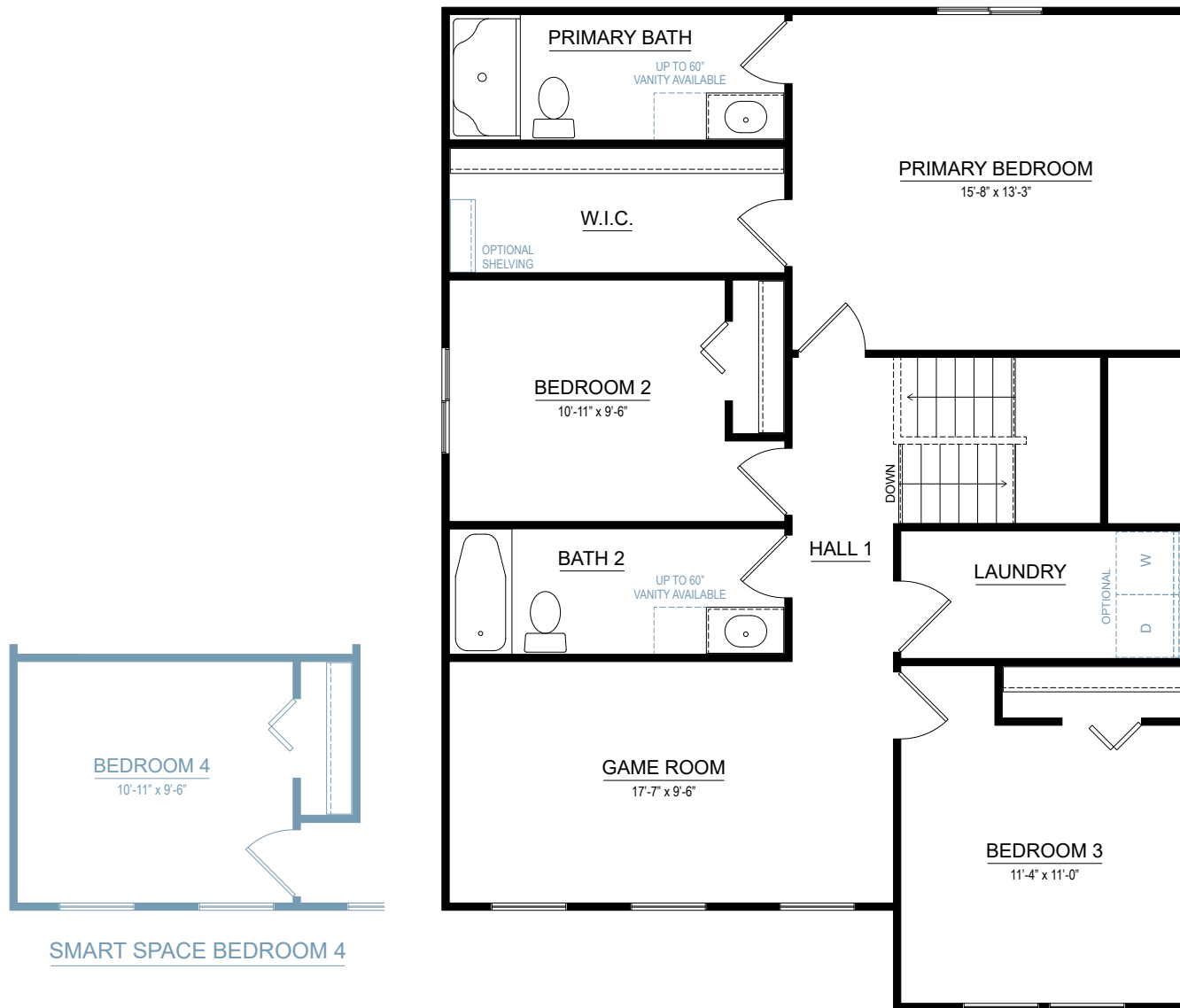


Elevation A3

Elevation A



FIRST FLOOR



SECOND FLOOR